



Building Inspections Division
11155 Robinson Dr
Coon Rapids, MN 55433
(763)767-6476 fax (763)767-6573

DETACHED GARAGES/SHED STRUCTURES

DEFINITION: Garages/Shed Structure – Private: An accessory structure or portion of the principal structure which is used by a resident of the property to store motor vehicles, major recreational equipment or other personal property.

Each single and two-family dwelling unit is permitted:

1. The total amount of garage/shed space, including an attached garage to the principle structure, can not exceed 1,200 square feet on a single and two-family dwelling.
2. In addition to the above, each dwelling unit is permitted other freestanding accessory structures. These accessory structures shall not exceed 200 square feet in floor area for each structure or have a door exceeding six (6) feet in width. The total area of all such accessory structures shall not exceed 400 square feet in floor area.
3. The number of detached garage/shed structures and other accessory structures shall not exceed three (3) per dwelling.
4. Detached garage/shed structures in excess of 900 square feet in floor area must meet the same setback requirements as the principal structure. The architectural style, color and facing material of the garage/shed structure shall be compatible with the principal structure.
5. All single family dwelling units must maintain 484 square feet of garage/shed space to be accessible to vehicle storage and shall have a minimum width of 22 feet and a minimum depth of 22 feet. (4/20/04)
6. Building permits are required for any structure 120 square feet or larger. Garage structures can be used for the storage of motor vehicles or major recreational equipment.
7. No structure shall be located any closer than six (6) feet to another detached structure.
8. Any garage/shed structure located within six (6) feet of the any structure shall be attached to and made structurally a part of the principal structure. Otherwise, there must be three (3) feet of clear space between overhangs/eaves.
9. Maximum height for a garage/shed structure is 20 feet; however, it may not exceed the height of the principal structure. Floor area shall mean the gross horizontal area of the main floor of a structure plus the horizontal area of any other floor level having a minimum vertical clearance or ceiling height of five (5) feet.
10. No detached garage/shed shall be built on an easement. No detached garage shall be constructed on any lot prior to the time of construction of the principal structure.
- 11. No more than 30% of the lot shall be covered by the structures, driveways, or parking area.**

12. SETBACKS:

LDR-1 Zoning District	Attached Garage	Detached Garage/ Storage Space Less than 900 sf in Area	Principal Structure/ Detached Garage/ Storage Space - 900 sf or more in Area
Front Setback	40	40	40
Side yard Setback	10	10	15
Rear Setback	50	10	50
Corner Lot Setback From Side Street	20	20	20

LDR-2 Zoning District	Attached Garage	Detached Garage/ Storage Space Less than 900 sf in Area	Principal Structure/ Detached Garage/ Storage Space - 900 sf or more in Area
Front Setback	35	35	35
Side yard Setback	5	5	10
Rear Setback	35	5	35
Corner Lot Setback From Side Street	20	20	20

ALL SETBACKS ARE MEASUREED FROM PROPERTY LINES, NOT STREET LINES.

No accessory structure may be closer to the front lot line than the principal structure, unless the lot has the Mississippi River or Crooked Lake shoreline as the rear lot line.

13. BUILDING PERMIT FOR DETACHED GARAGE/SHED STRUCTURES REQUIRE:

- a. Two sets of detailed construction plans accompanied by a site plan and a building permit application must be submitted to this office for plan review prior to a permit being issued. It will be necessary that you allow a minimum of five working days for the plan review process. You will be notified by telephone when your plans have completed the process and a building permit can be obtained.

14. Building Inspectors office hours are: 8:00 am to 4:30 pm Monday through Friday.

15. Please call the Building Inspection Department at 763-767-6476 for inspections and/or information. We ask that minimum of two (2) working days notice be given for all inspections. However, this two day minimum may change due to seasonal demands on the Inspection Department.

16. Inspection times are from 7:30-11:30 am and 1:30-4:30 pm.

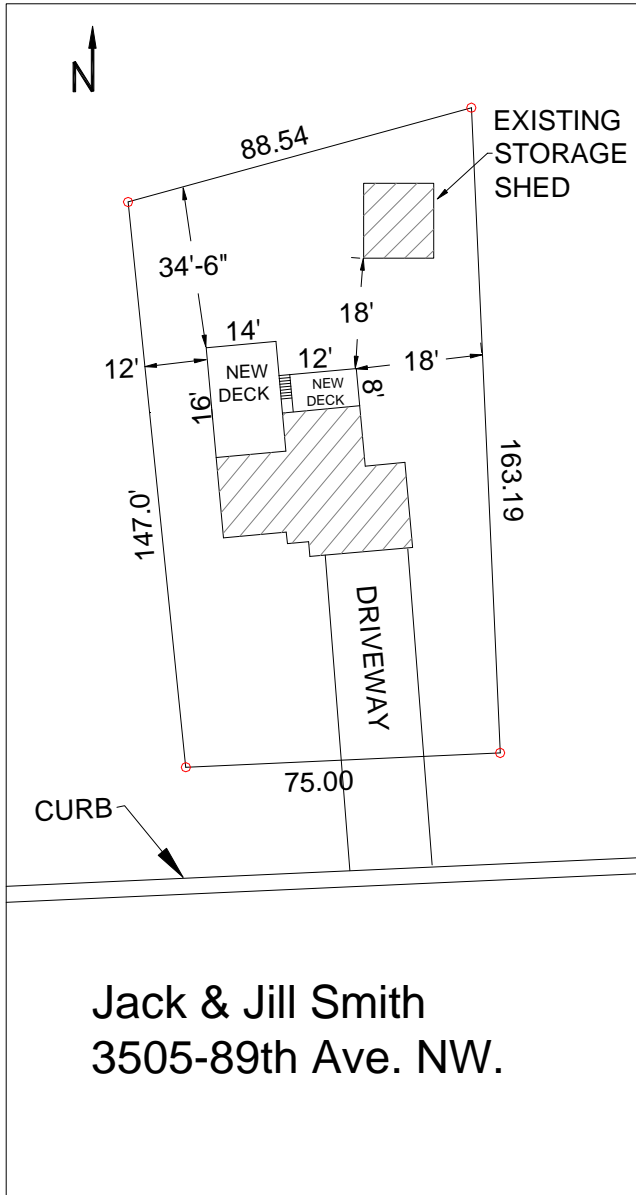


COMMUNITY DEVELOPMENT DEPARTMENT
 BUILDING AND INSPECTIONS DIVISION
 TELEPHONE 763-767-6476

EXAMPLE SITE PLAN

PROPOSED NEW DECK LOCATION

USE CERTIFICATE OF SURVEY
 CONTACT BUILDING DEPARTMENT



1"=20' SCALE

SHOW ON PLAN

1. LOT LINES.
2. LOT DIMENSIONS.
3. OWNERS NAME.
4. ADDRESS.
5. DRIVEWAY.
6. POND/LAKE/STREAM.
7. EASEMENTS.
8. POWER SUPPLY.
9. DIMENSIONS TO PROPOSED PROJECT AND ALL OTHER STRUCTURES.
10. SIZE OF NEW STRUCTURE.
11. DIMENSIONS TO LOT LINES.
12. DIMENSIONS TO OTHER BLDGS.
13. INCLUDE YARD SETBACKS AND EASEMENTS ON SIDE, FRONT, AND BACK YARDS.
14. LABEL ALL ADJACENT STREETS.
15. INCLUDE SCALE.

NOTE:

IF SITE PLAN IS NOT COMPLETE,
 THE PROCESS FOR REVIEW OF
 APPLICATION WILL BE HELD UP.

PROVIDE 2 COPIES OF A SITE
 PLAN.

GOPHER STATE 1 CALL
 FOR UTILITY LOCATIONS
 651-454-0002 OR 811

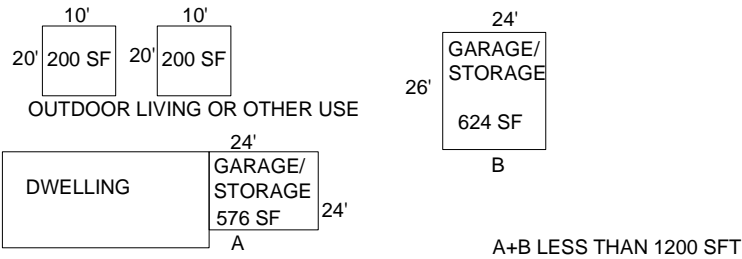


GARAGE SIZES ALLOWED

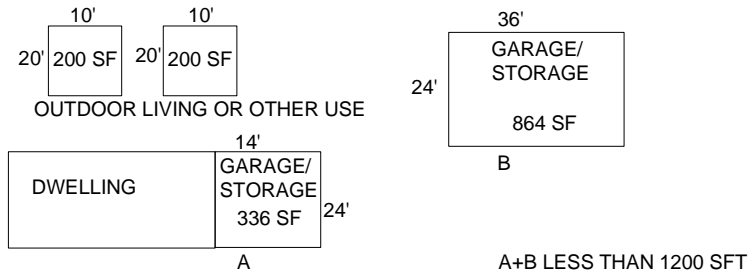
COMMUNITY DEVELOPMENT DEPARTMENT
 BUILDING AND INSPECTIONS DIVISION
 TELEPHONE 763-767-6476

ALLOWED: 1,200 SQUARE FEET OF GARAGE/STORAGE (ATTACHED OR DETACHED). OTHER DETACHED STRUCTURES OF UP TO 200 SQUARE FEET PER STRUCTURE WITH A TOTAL OF 400 SQUARE FEET.
 NOTE: NO MORE THAN 3 DETACHED BUILDINGS ON A LOT.

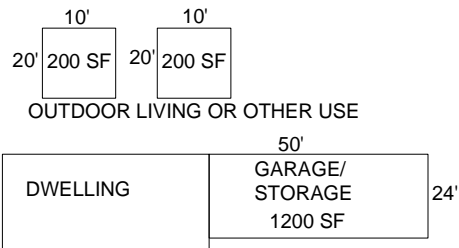
EXAMPLE NO. 1



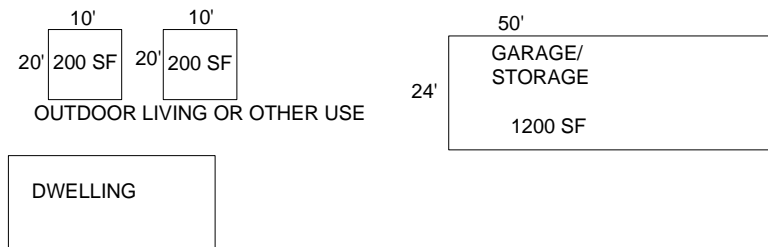
EXAMPLE NO. 2



EXAMPLE NO. 3



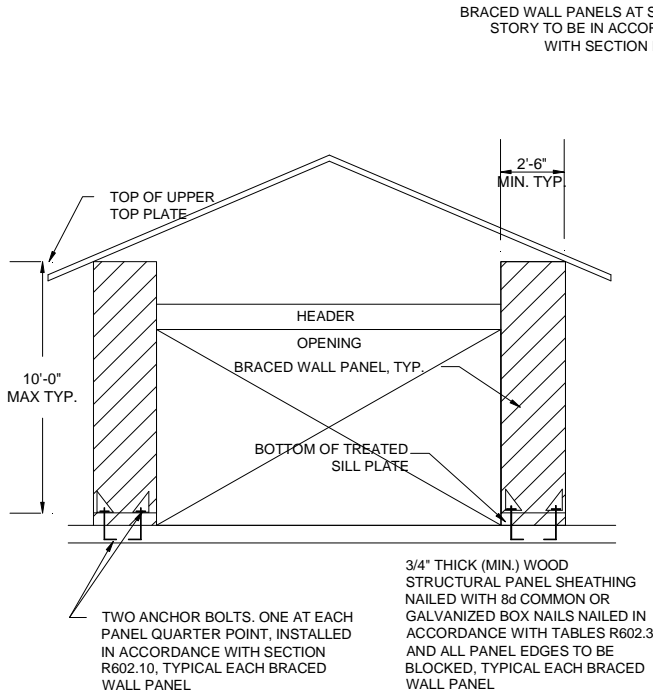
EXAMPLE NO. 4



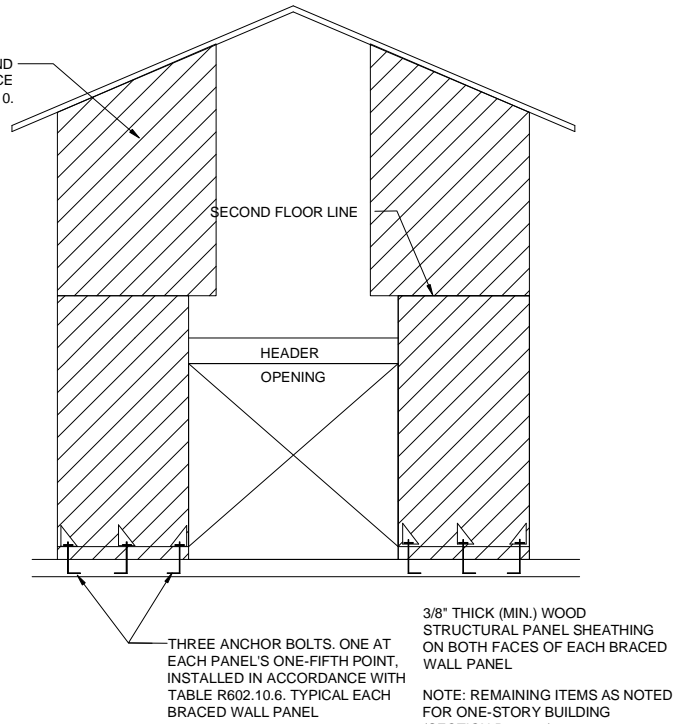


CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING

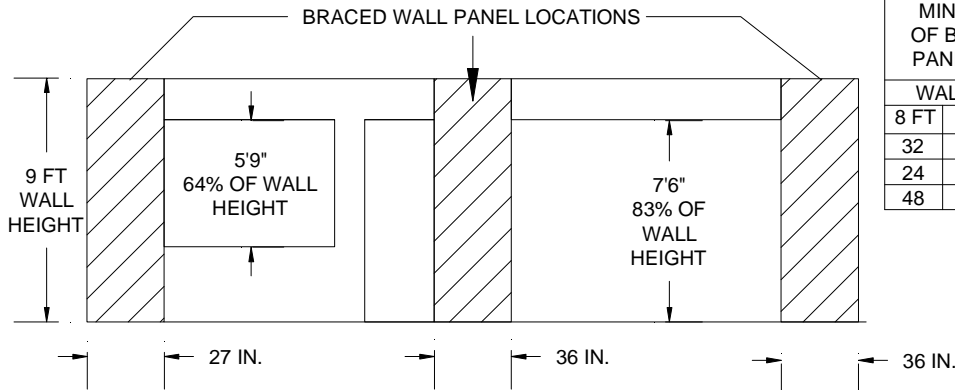
COMMUNITY DEVELOPMENT DEPARTMENT
 BUILDING AND INSPECTIONS DIVISION
 TELEPHONE 763-767-6476



ONE STORY BUILDINGS



TWO STORY BUILDINGS

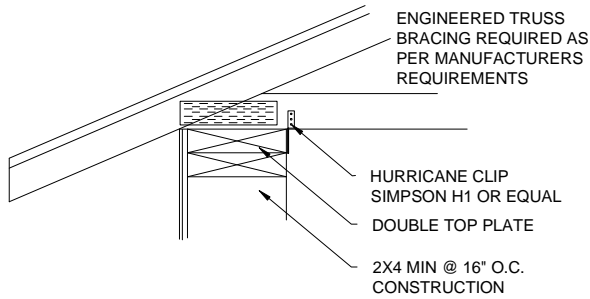


MINIMUM LENGTH OF BRACED WALL PANELS (INCHES)			MAXIMUM OPENING HEIGHT
WALL HEIGHT			
8 FT	9 FT	10 FT	
32	36	40	85%
24	27	30	65%
48	54	60	100%

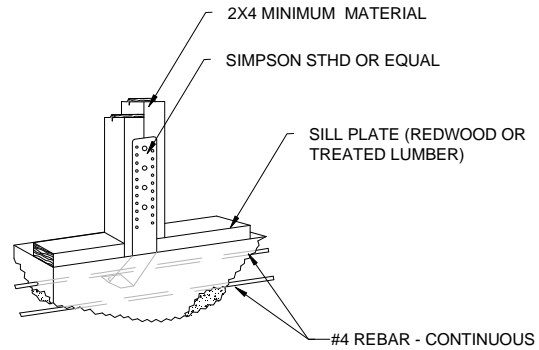
TABLE R602.10.6
 MINIMUM WIDTHS AND TIE-DOWN FORCES OF ALTERNATE BRACED WALL PANELS

SEISMIC DESIGN CATEGORY AND WINDSPEED	TIE-DOWN FORCE (lb)	HEIGHT OF BRACED WALL PANEL SHEATHED WIDTH				
		8 ft. 2'-4"	9 ft. 2'-8"	10 ft. 2'-8"	11 ft. 3'-2"	12 ft. 3'-6"
SDC A, B AND C WINDSPEED <110 MPH	R602.10.6.1, ITEM 1	1800	1800	1800	2000	2200
	R602.10.6.1, ITEM 2	3000	3000	3000	3300	3600

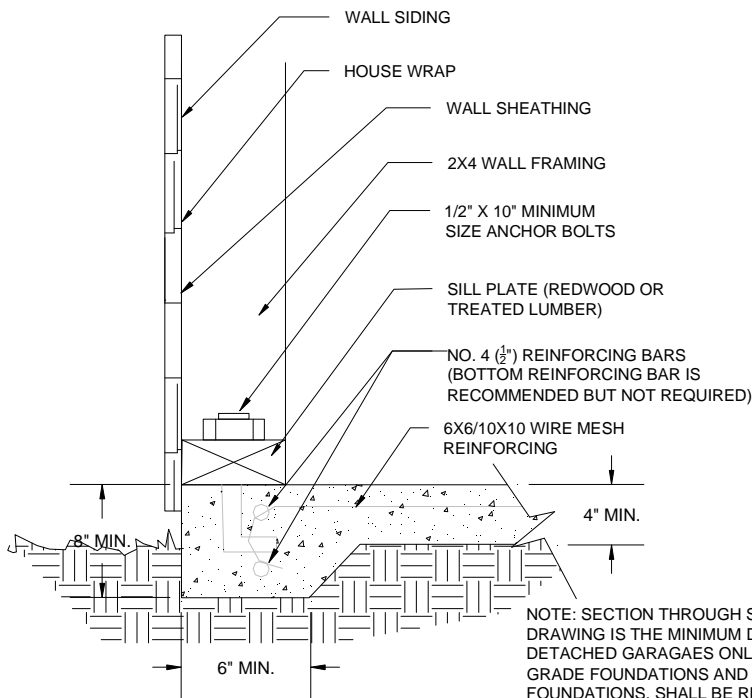
DETAILS



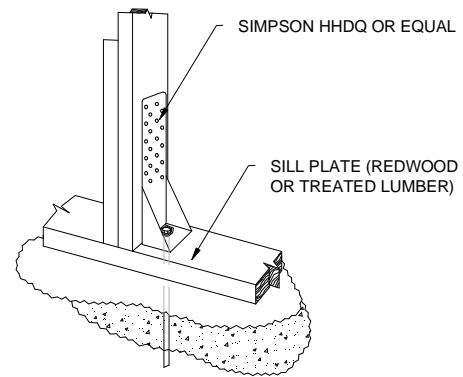
TRUSS CONNECTION



TYPICAL HOLDDOWN INSTALLATION



SLAB ON GRADE DETAIL FOR
DETACHED GARAGE



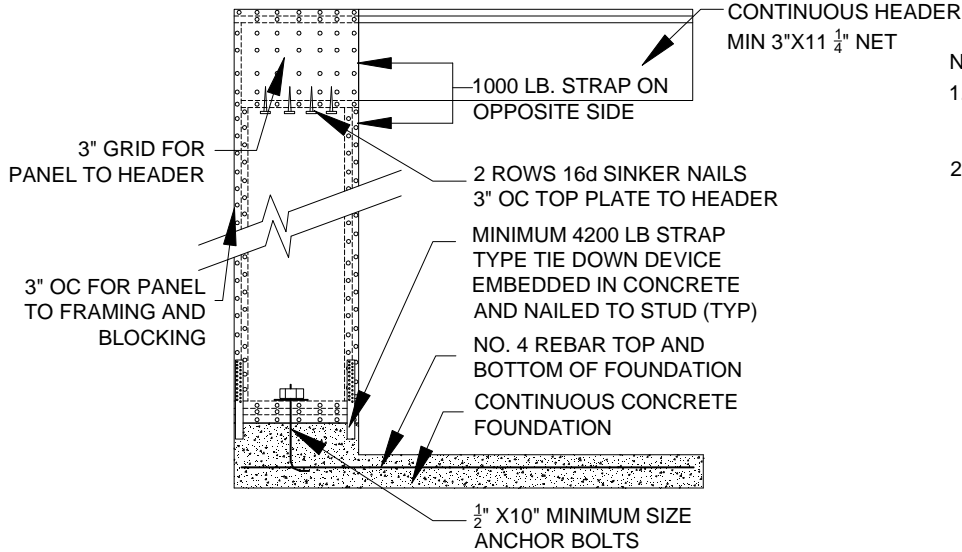
TYPICAL HOLDDOWN INSTALLATION

NOTE: SECTION THROUGH SLAB SHOWN IN THIS DRAWING IS THE MINIMUM DESIGN ACCEPTABLE FOR DETACHED GARAGES ONLY. ALL OTHER SLAB ON GRADE FOUNDATIONS AND ATTACHED GARAGE FOUNDATIONS, SHALL BE REVIEWED ON AN INDIVIDUAL BASIS.



ALTERNATE BRACED WALL PANEL ADJACENT TO OPENING WITH CONTINUOUS HEADER

COMMUNITY DEVELOPMENT DEPARTMENT
 BUILDING AND INSPECTIONS DIVISION
 TELEPHONE 763-767-6476



NOTES:

1. MINIMUM $\frac{3}{8}$ " THICK WOOD STRUCTURAL PANEL SHEATHING
2. MINIMUM NARROW WALL WITH NARROW WALL BRACING
 - A. 16" ONE STORY
 - B. 24" TWO STORY

Model No.	Material		Dimensions			Fasteners				Allowable Tension Loads DF/SP		Deflection at Highest Allowable Design Load	Notes
	Strap	Plate	W	L	CL	Anchor Bolts	Nails	Bolts		160			
								Qty	Dia	Nails	Bolts		
HTT16	11	-	2 1/2	16	1 3/8	5/8	18-16dx2 1/2	-	-	3955		0.124	
HTT22	11	-	2 1/2	22	1 3/8	5/8	32-10d	-	-	4165		0.152	
HTT5	11	-	2 1/2	16	1 3/8	5/8	26-10dx1 1/2	-	-	4350		0.120	
							12-10d			4670		0.116	
							26-16dx2 1/2			5090		0.135	2

Notes:

1. Allowable loads for HTT are based on the lower of the 1997 NDS fastener values or the ultimate load on a steel test jig divided by 2.5
2. 16d sinkers (9 ga x 3/4") or 10d commons may be substituted for the specified 16d commons at 0.84 of the table loads.