



11155 Robinson Dr
Coon Rapids, MN 55433
(763)767-6476 fax (763)767-6573

PORCHES

A Building permit is required for construction of all porches regardless of size or cost.

NOTE: If you are building on top of an existing deck, structural upgrades may be required.

Please review all of the application requirements, complete a **Building permit application** which has been provided in this packet along with the required items listed below.

Once plan approval has been given and a permit issued, be aware that if you decide to make changes to or alter your plan, you must submit changes for approval.

To obtain a permit for construction, you will need to submit the following 3 items:

1. Building Permit Application

2. Site Plan *(example enclosed)*

**Your site plan should indicate the location of the dwelling and the proposed porch location & dimensions. Lot irons are required to be located.*

3. Construction Plans (2 copies)

****Incomplete plans will not be reviewed. Please allow 5-10 working days for review.***

You will be contacted by the Building Inspections Division when your plan has been approved.

NOTE: If you are in a development with a homeowners' association, a letter from the Board of Directors approving construction is required.

Your Deck Plan must include all of the following:

(Use this as your checklist)

- Dimensions of porch: length _____, width _____
- Floor Layout
- Cross Section
- Footing depth _____ size _____
- Size of beam/beams
- Size of joists
- Spacing of joists
- Roof & ledger attachment details

If your porch has stairs you will need to include the following items:

- Height of guardrail: _____
- Size of openings in guardrail:
 - 1. Distance between balusters: _____
 - 2. Distance between decking & guardrail bottom: _____
- Height of the stair riser: _____
- Depth of stair treads: _____
- Height of the handrail: _____

STAIRWAY LIGHTING: Exterior stairways shall be provided with an artificial light source located in the immediate vicinity of the top landing of the stairway.

City of Coon Rapids
Building Permit Application

Job Site Address: _____ Permit # _____

Project Valuation: \$ _____ The Applicant is: Owner and Occupant Contractor
(must include material and labor costs)

Property Owner

Name: _____ Contact Person: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Cell: _____ Email: _____

Contractor

Name: _____ Contact Person: _____ Email: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Cell: _____ Contractor License#: _____ Lead Cert #NAT _____

Property Use	Type of Work	Building Information
<input type="checkbox"/> Single Family <input type="checkbox"/> 2-Family <input type="checkbox"/> Mult-Family <input type="checkbox"/> Townhouse <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Hospital/Medical <input type="checkbox"/> Public Building <input type="checkbox"/> Hotel/Motel	<input type="checkbox"/> New Building <input type="checkbox"/> Demolish Building <input type="checkbox"/> Mobile Home <input type="checkbox"/> Move Building <input type="checkbox"/> Existing Building Fire Damage <input type="checkbox"/> Addition/Alter Reroof <input type="checkbox"/> Basement Finish Reside <input type="checkbox"/> Deck Swimming Pool <input type="checkbox"/> Driveway Windows <input type="checkbox"/> Garage/Shed Other _____	<input type="checkbox"/> Number of Stories <input type="checkbox"/> Number of Buildings Total Sq. Ft. _____ Height _____ Length _____ Width _____ Property Zoning _____ Occupancy Group _____ Type of Construction _____ Fire Sprinklers Yes ___ No ___

Specific Description of Work to be Completed

Permit becomes void if work does not begin within 180 days or is suspended at any time for over 180 days. Permits issued and Inspections made by the City are a public service and do not constitute any representation, guarantee, or warranty, either implied or expressed, to any person as to the condition of the building or conformance to applicable construction codes. The Undersigned acknowledges that this application has been read and that the above is correct and agrees to comply with all the ordinances and laws of the City of Coon Rapids.

Periodic and/or a final inspection of this work are required by the Minnesota State Building Code. It is the responsibility of the applicant to call the Coon Rapids Inspections Division at 763 767-6476 to schedule an inspection.

Applicant's Signature _____ Date _____

OFFICE USE ONLY: REQUIRED INSPECTIONS

- | | | | |
|---|--|--|--|
| <input type="checkbox"/> Consultation | <input type="checkbox"/> Foundation/Waterproof | <input type="checkbox"/> Ice & Water Barrier | <input type="checkbox"/> Sheathing |
| <input type="checkbox"/> Final | <input type="checkbox"/> Framing | <input type="checkbox"/> Insulation/VB | <input type="checkbox"/> Smoke/C.O. Alarms |
| <input type="checkbox"/> Footing | <input type="checkbox"/> Gypsum Wallboard | <input type="checkbox"/> Pan Flashing | |
| <input type="checkbox"/> Forms for Concrete | <input type="checkbox"/> House Wrap | <input type="checkbox"/> Site | Other _____ |

EXAMPLE SITE PLAN

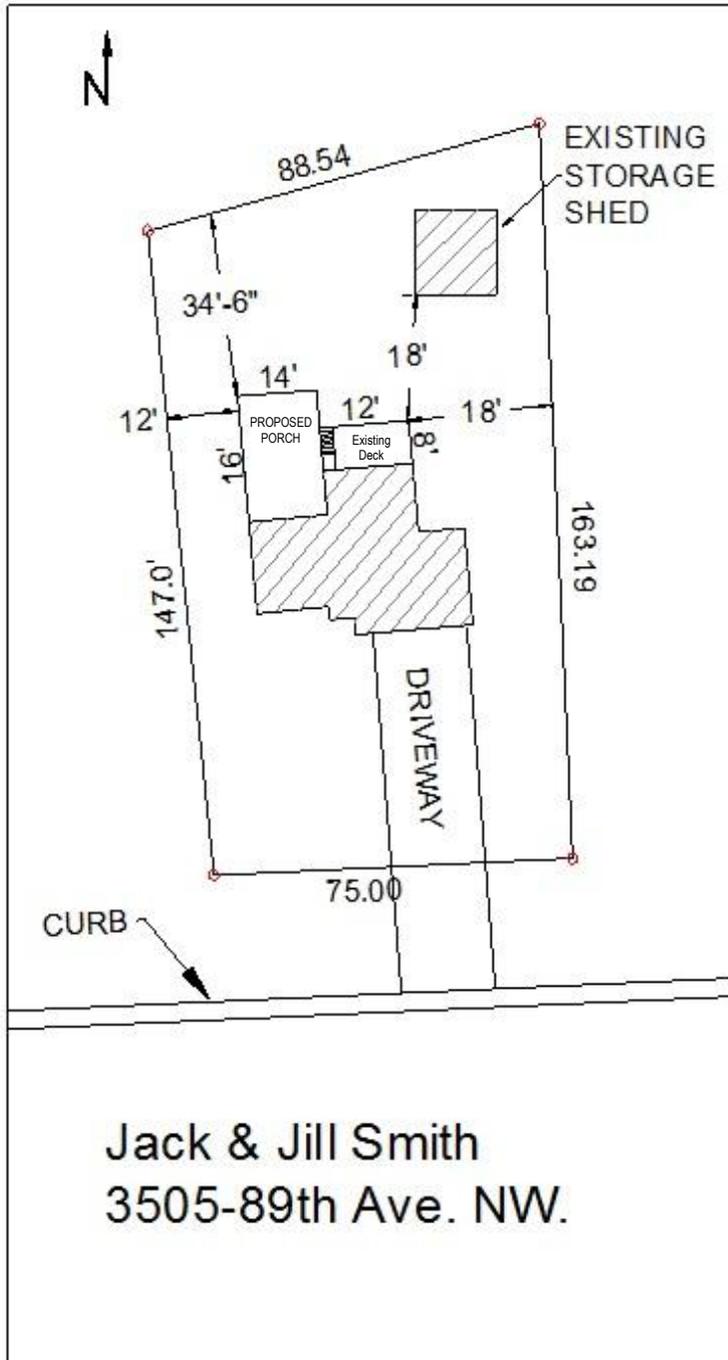
PROPOSED PORCH LOCATION

USE YOUR CERTIFICATE OF SURVEY TO INDICATE THE LOCATION & DIMENSIONS OF YOUR PROPOSED PORCH.

YOU MAY CONTACT
THE BUILDING INSPECTION DEPT.
AT 763-767-6476

TO REQUEST A COPY OF YOUR LOT SURVEY.

NOTE: NOT ALL PROPERTIES HAVE
A CERTIFICATE OF SURVEY ON FILE.



Jack & Jill Smith
3505-89th Ave. NW.

1"=20' SCALE

SHOW ON PLAN

1. LOT LINES.
2. LOT DIMENSIONS.
3. OWNERS NAME.
4. ADDRESS.
5. DRIVEWAY.
6. POND/LAKE/STREAM.
7. EASEMENTS.
8. POWER SUPPLY.
9. DIMENSIONS TO PROPOSED PROJECT AND ALL OTHER STRUCTURES.
10. SIZE OF NEW STRUCTURE.
11. DIMENSIONS TO LOT LINES.
12. DIMENSIONS TO OTHER BLDGS.
13. INCLUDE YARD SETBACKS AND EASEMENTS ON SIDE, FRONT, AND BACK YARDS.
14. LABEL ALL ADJACENT STREETS.
15. INCLUDE SCALE.

NOTE: PLEASE PROVIDE (2) COPIES OF THE PROPOSED SITE PLAN.

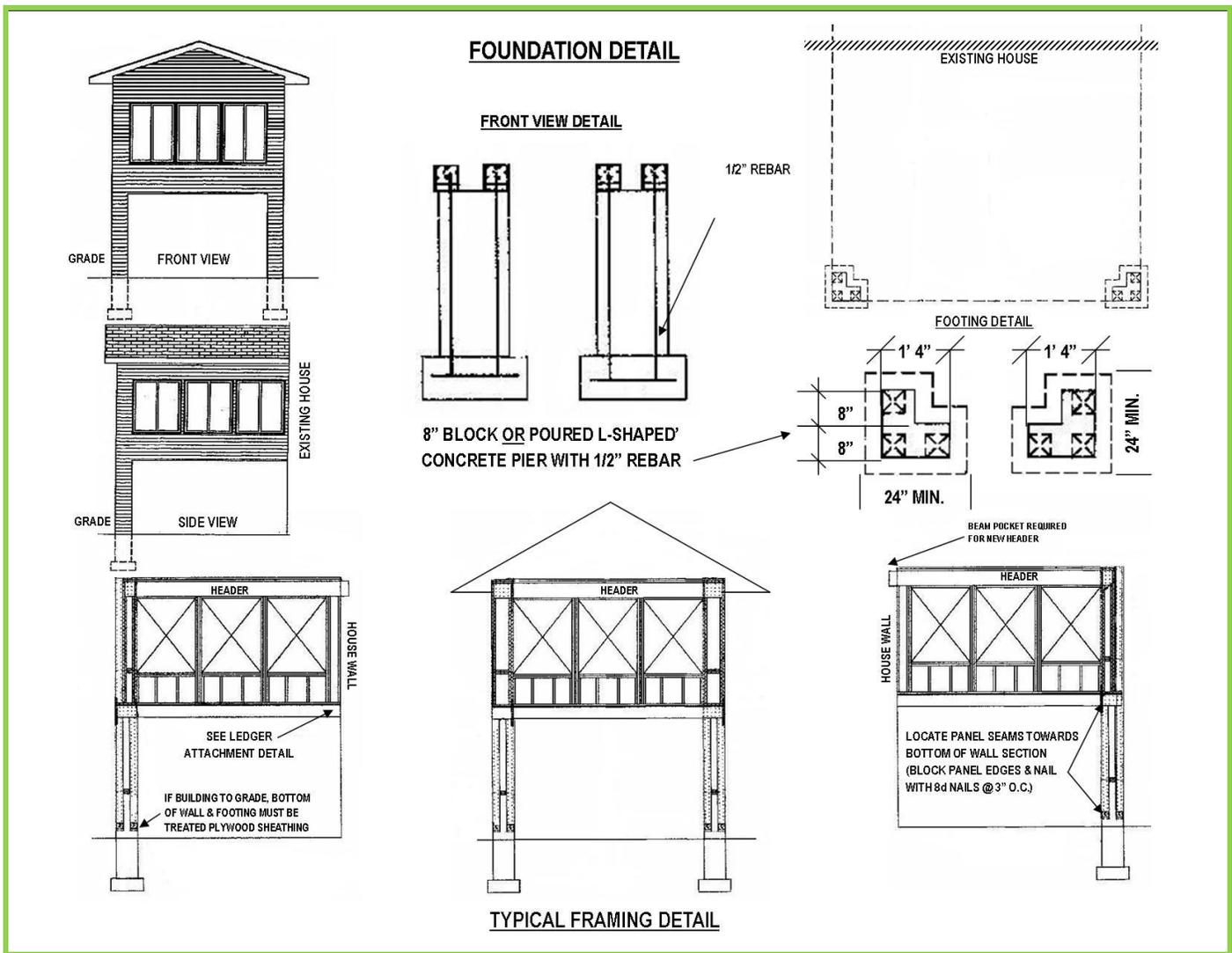
IF A COMPLETED SITE PLAN IS NOT PROVIDED, PLAN REVIEW WILL BE DELAYED.

CALL BEFORE YOU DIG!
CONTACT GOPHER STATE ONE-CALL
FOR UTILITY LOCATIONS

651-454-0002

OR

811 FROM YOUR CELL PHONE



INSPECTIONS:

- You must call for a scheduled **appointment time**.
- The **approved plan** must be **on site for all** inspections.

Typically 8 inspections are required:

1. **Footings** - Your footings will be **checked** for proper **diameter and depth, flare, a flat surface** at the base, and **no water** in the holes. The location will also be checked to make sure you are not building within the setback/easements.
2. **Framing** - If your **deck surface** is **4 feet**, or closer, to the ground, you **must pass a framing inspection before the floor material** may be applied to the porch floor. Structural integrity and proper attachment of all connectors will be inspected. Connection to the existing house roof/wall will be inspected at this time.
3. **Pan Flashing** - A pan flashing inspection will be required for windows/door installation if the manufacturer requires it. The manufacturer's installation instructions must be on site for all inspections.
4. **Sheathing** - A sheathing inspection will be required **prior** to house wrap installation
5. **Ice and Water** - Ice and Water inspection is required **prior** to shingle installation. The Ice & Water is required to extend 24" beyond the inside wall line.
6. **Insulation/Vapor Retarder** - Insulation shall be R20 in the walls, R30 in the floor, and R49 in the ceiling. A Vapor Retarder is required on the warm side of the insulated exterior walls.
7. **House Wrap** - Pictures of House Wrap will be accepted at the final inspection.
8. **Final** - A **final inspection must be completed** to be sure that the porch complies with the current Minnesota State Building Code. Smoke/Co Alarms will be checked at the time of final inspection.

HEAT SOURCE: If heating, this area shall meet the requirements of the 2015 MN Residential Energy Code.

LEDGER ATTACHMENT GUIDE

TABLE R507.2
FASTENER SPACING FOR A SOUTHERN PINE OR HEM-FER DECK LEDGER & A 2-INCH NOMINAL
SOLID-SAWN SPRUCE-PINE-FIR BAND JOIST

JOIST SPAN	6' and less	6' 1" to 8'	8' 1" to 10'	10' 1" to 12'	12' 1" to 14'	14' 1" to 16'	16' 1" to 18'
Connection details	On-center spacing of fasteners ^{d,e}						
1/2 inch diameter lag screw with 1 5/32 inch maximum sheathing ^a	30	23	18	15	13	11	10
1/2 inch diameter bolt with 1 5/32 inch maximum sheathing	36	36	34	29	24	21	19
1/2 inch diameter bolt with 1 5/32 inch maximum sheathing and 1/2 inch stacked washers ^{b,h}	36	36	29	24	21	18	16

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa.

a. The tip of the lag screw shall fully extend beyond the inside face of the band joist.

b. The maximum gap between the face of the ledger board and face of the wall sheathing shall be 1/2 inch.

c. Ledgers shall be flashed to prevent water from contacting the house band joist.

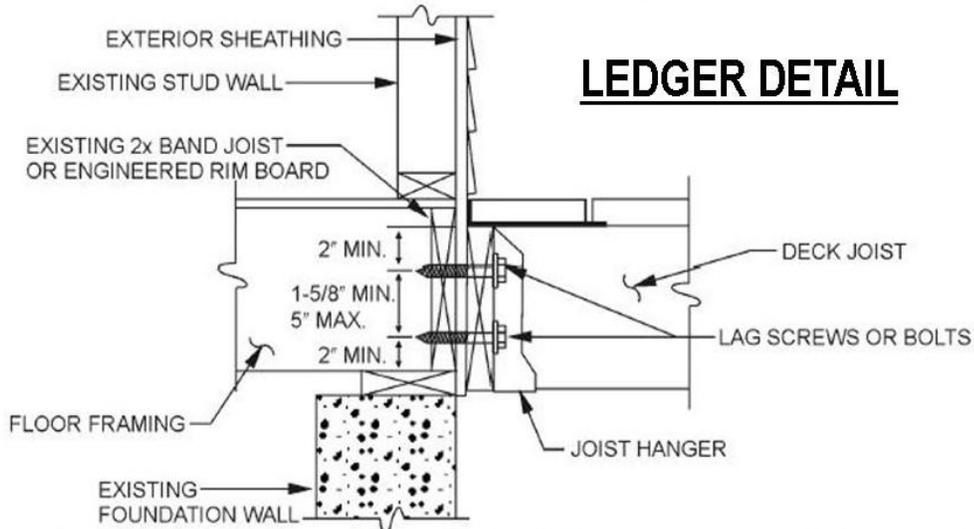
d. Lag screws and bolts shall be staggered in accordance with Section R507.2.1.

e. Deck ledger shall be minimum 2 x 8 pressure-preservative-treated No. 2 grade lumber, or other approved materials as established by standard engineering practice.

f. When solid-sawn pressure-preservative-treated deck ledgers are attached to a minimum 1-inch-thick engineered wood product (structural composite lumber, laminated veneer lumber or wood structural panel band joist), the ledger attachment shall be designed in accordance with accepted engineering practice.

g. A minimum 1 x 9/2 Douglas Fir laminated veneer lumber rimboard shall be permitted in lieu of the 2-inch nominal band joist.

h. Wood structural panel sheathing, gypsum board sheathing or foam sheathing not exceeding 1 inch in thickness shall be permitted. The maximum distance between the face of the ledger board and the face of the band joist shall be 1 inch.



MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS				
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
Ledger ^a	2 inches ^d	1/4 inch	2 inches ^b	1 5/8 inches ^b
Band Joist ^c	3/4 inch	2 inches	2 inches ^b	1 5/8 inches ^b

For SI: 1 inch = 25.4 mm.

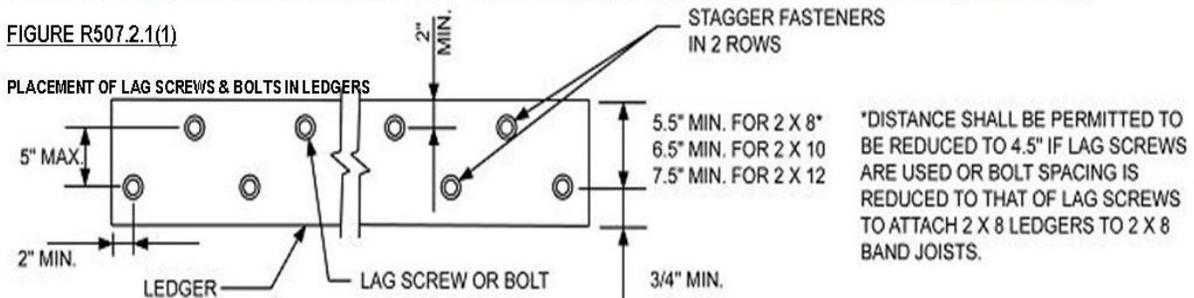
a. Lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger in accordance with Figure R507.2.1(1).

b. Maximum 5 inches.

c. For engineered rim joists, the manufacturer's recommendations shall govern.

d. The minimum distance from bottom row of lag screws or bolts to the top edge of the ledger shall be in accordance with Figure R507.2.1(1).

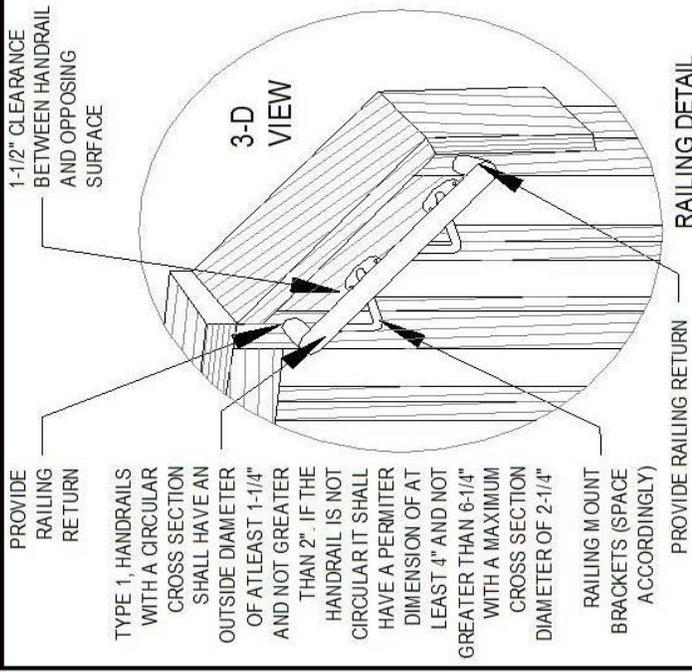
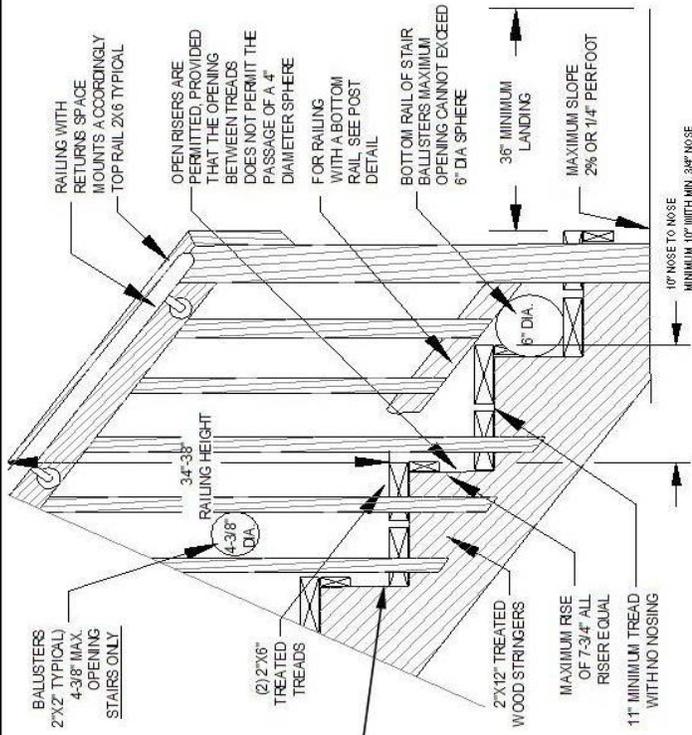
FIGURE R507.2.1(1)



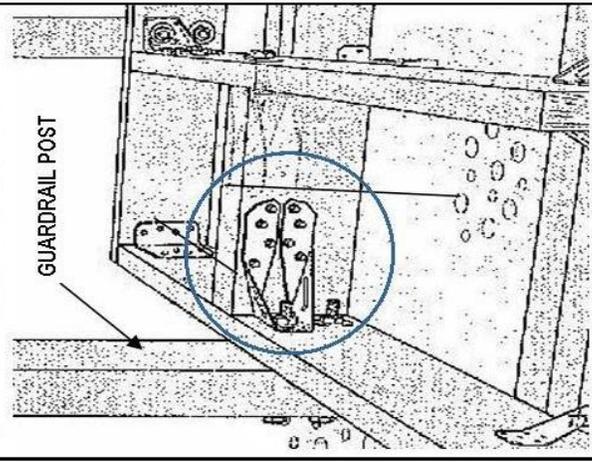
RISERS AND TREADS

THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8"

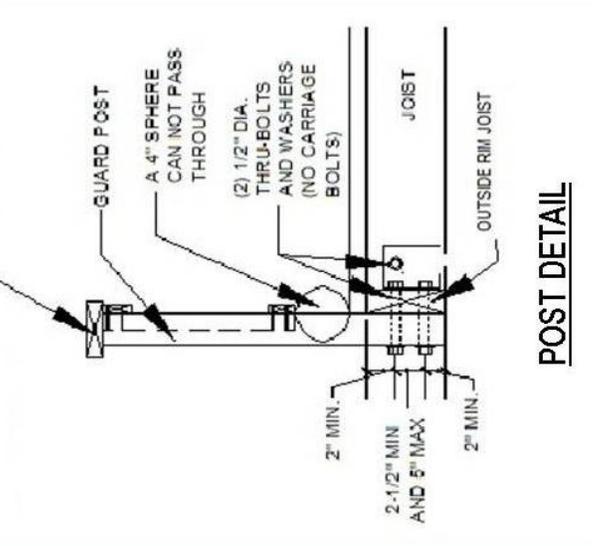
THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8"



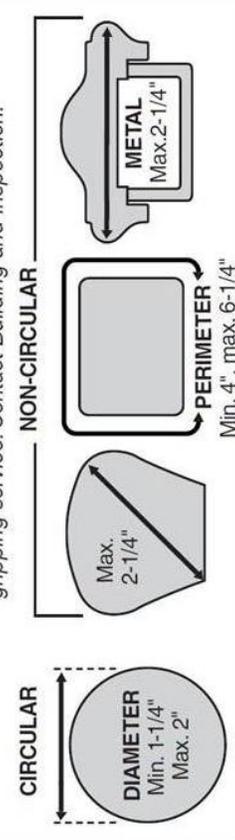
POST TO JOIST CONNECTION



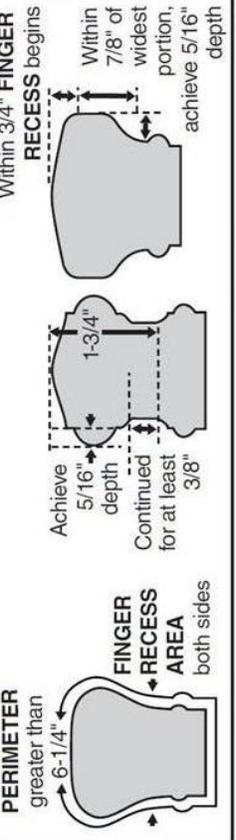
POST DETAIL



Handrail details



Handrail samples



HANDRAILS ARE TO BE FASTENED PER THE MANUFACTURER'S RECOMMENDATION